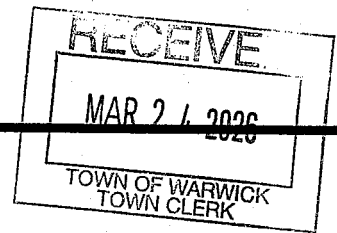


**Warwick Town Clerk**



**From:** Devine, Barbara <BDevine@orangecountygov.com>  
**Sent:** Tuesday, March 24, 2026 9:24 AM  
**Subject:** 2026 Orange County Hazmat Collection Events on Fri., April 17 (for CESQGs) and Sat., April 18 (Residents Only) at Delano Hitch Recreation Center  
**Attachments:** Delano Hitch Registration Form 2026.pdf; 2026.4.18 HHW Event Flyer - Delano Hitch (Newburgh).jpg

Good morning,

We are pleased to announce the second set of *Hazardous Waste and Safe Scripts Collection Events* of 2026, which will take place in the City of Newburgh, at the Delano Hitch Recreation Center Parking Lot, located at 401 Washington Street in Newburgh, on **Friday, April 17th**, for CESQGs, and on **Saturday, April 18th**, for Orange County residents. The Friday, April 17th event is for school districts, municipalities, businesses, and farms, otherwise known as Conditionally Exempt Small-Quantity Generators (CESQGs). The Saturday, April 18th event is for Orange County residents with a valid ID, showing an Orange County address.

All CESQGs **\*MUST\*** pre-register for the **Friday, April 17th** event at OCTS #1 by **NO LATER THAN C.O.B. FRIDAY, April 3rd**. If you have acceptable materials (wet latex/water-based paints are also now accepted) and are interested in participating, please complete both pages of the attached registration form and email to Ermin Siljkovic at [esiljkovic@orangecountygov.com](mailto:esiljkovic@orangecountygov.com), or send via fax to (845) 291-4570. These forms can also be found on the EF&S Hazardous Waste webpage, at the following link: <https://www.orangecountygov.com/449/Household-Hazardous-Waste>.

**\*IMPORTANT INSTRUCTIONS\***

On your registration, please indicate the QUANTITY of each material you plan on bringing on the first page (specifically the number of containers and volume of each container), and on the second page, please include the AGGREGATE WEIGHT of said materials. NOTE: Unsigned registrations and registrations containing over 220 lbs. of materials will be rejected. Multiple registrations for one site can be submitted.

Your registrations will be sent to our vendor, MXI Environmental Services, who will then provide a quote based on your submission during the week before the event, providing you time to process purchase orders or checks.

**Orange County Resident Event -**

Also attached is a JPEG of the flyer for the Saturday, April 18th event for residents. Registration for residents is not required; however, commercial quantities of materials will not be accepted. No businesses, municipalities, or school districts are permitted to bring materials to the event for residents. Please note that this event will take place from 9 AM to 3 PM. Please help spread the word!

Your adherence to the above procedures, help make these events possible. We are looking forward to working with you to continue keeping toxic materials out of the environment and recovered, recycled, or disposed of, in the best manner possible.

Regards,

*Barbara A. Devine*

Secretary/Administrative Assistant II  
**Orange County Department of Public Works**  
*Division of Environmental Facilities & Services (EF&S)*  
PO Box 637  
2455-2459 Route 17M  
Goshen, New York 10924

845-291-2664

[BDevine@orangecountygov.com](mailto:BDevine@orangecountygov.com)



This communication may contain confidential information and is intended only for the individual or entity to whom it is addressed. Any review, dissemination, or copying of this communication by anyone other than the intended recipient is strictly prohibited. If you are not the intended recipient, please contact the sender, and destroy all copies of the original message. No responsibility is accepted by Orange County Government for any loss or damage arising in any way from receiving this communication.

# Orange County Household Hazardous Waste Collection - Farms, Schools, Government Agencies, Small Businesses, Conditionally Exempt Small Quantity Generator Registration

Complete entire form (both pages) and return to: OC DPW, Div. of EF&S, P.O. Box 637 Goshen NY  
10924 or fax to 291-4570 or email [esiljkovic@orangecountygov.com](mailto:esiljkovic@orangecountygov.com)

For further information: CALL 845- 291-3246 or go to: [www.orangecountygov.com/efs](http://www.orangecountygov.com/efs)

**FRIDAY, APRIL 17, 2026:**  
**DELANO HITCH RECREATION CENTER**  
**401 WASHINGTON STREET, NEWBURGH, NY 12550**  
**No Registrations taken after: Friday, APRIL 3, 2026**  
 Cost is according to fee schedule established by vendor – drop off time scheduled

*Sponsored by Orange County DPW Division of Environmental Facilities and Services, County Executive, Steven M. Neuhaus  
Co-Sponsored by New York State Department of Environmental Conservation*

SIGNATURE (required): \_\_\_\_\_

Name: \_\_\_\_\_ email: \_\_\_\_\_

Company: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Are you a (check one): Farmer  School  Governmental Agency  Small Business

**CONDITIONALLY EXEMPT SMALL QUANTITY GENERATORS MAY TRANSPORT A  
 MAXIMUM OF 220 lbs. OF HAZARDOUS WASTE TO THIS EVENT BASED ON NYS DEC REGULATIONS**

<u>Quantity (volume/ # of containers)</u>	<u>Quantity (volume/ # of containers)</u>	<u>Quantity (volume/ # of containers)</u>
<b>Pesticides/Herbicides</b> Dry: _____ Liquid: _____ Aerosol Cans: _____	<b>Automotive Products/Gas/Oil</b> Dry: _____ Liquid: _____	<b>Varnishes/Shellacs/Stains:</b> _____  <b>Solvents/Thinners:</b> _____  <b>Aerosol Cans:</b> _____
<b>Corrosives/Cleaners</b> Dry: _____ Liquid: _____ Aerosol Cans: _____	<b>Rubber Cement:</b> _____  <b>Roofing Tar:</b> _____	<b>Photographic Chemicals:</b> Dry: _____ Liquid: _____
<b>Pool Chemicals</b> Dry: _____ Liquid: _____	<b>Driveway Sealer:</b> _____  <b>Creosote:</b> _____	<b>Dry Wall Compound:</b> _____  <b>Mercury:</b> _____
<b>Paint: Oil, Acrylic, Water Based:</b> Liquid: _____ Aerosol Cans: _____ Dry: _____	<b>Inks:</b> _____  <b>Adhesives:</b> _____  <b>Other:</b> _____	<b>Dental Amalgam:</b> _____  <b>Fluor. bulbs (type/amt/ft.):</b> _____

# CONDITIONALLY EXEMPT SMALL QUANTITY GENERATOR CERTIFICATION

I hereby certify that I am a generator of hazardous waste within the State of New York and that because of the small volume of hazardous waste generated and/or stored, I qualify for conditionally exempt small quantity generator status.

I understand that in order for conditionally exempt small quantity generator status, I must meet all three of the following conditions:

1. Generate less than 1 kg/month (2.2 pounds) of acute hazardous waste (as defined by 6 NYCRR Part 371), and never store more than this amount on site at any time; and
2. Generate less than 100 kg/month (220 pounds) of all other hazardous waste (as defined by 6 NYCRR Part 371), and never store more than 1000 kg/month on site at any time.
3. Transport a maximum of 220 lbs of hazardous waste at one time.

Only if I am a farmer, I realize that I may store up to 1000 kg. (2200 pounds) of non-acute hazardous waste pesticides on my farm without losing my conditionally exempt status, provided that these wastes are brought to a household hazardous waste collection program.

I further understand that if, in the future, I exceed the quantity limitations described above, I will become subject to additional regulation as a hazardous waste generator and will no longer be eligible to participate in this type of collection program.

I certify that I have the authority to make these statements on behalf of my farm or business. Also, I, the undersigned, do hereby certify that the items brought for collection came from my farm or business located in Orange County.

Signed: \_\_\_\_\_ Title: \_\_\_\_\_

Name (print): \_\_\_\_\_

Company Name: \_\_\_\_\_

Address: \_\_\_\_\_

Email: \_\_\_\_\_

Organization Type: \_\_\_\_\_

## WASTE (S) BROUGHT TO THIS PROGRAM:

Type of waste: \_\_\_\_\_ Quantity in lbs.: \_\_\_\_\_

Type of waste: \_\_\_\_\_ Quantity in lbs.: \_\_\_\_\_

Type of waste: \_\_\_\_\_ Quantity in lbs.: \_\_\_\_\_

## ADDITIONAL WASTE (S) STORED ON SITE:

Type of waste: \_\_\_\_\_ Quantity in lbs.: \_\_\_\_\_

Type of waste: \_\_\_\_\_ Quantity in lbs.: \_\_\_\_\_

Type of waste: \_\_\_\_\_ Quantity in lbs.: \_\_\_\_\_

# 2026 Orange County Household Hazardous Waste & Operation Safe Scripts Pharmaceutical Collection Events

Saturday, April 18, 2026 from 9 AM to 3 PM

**Delano Hitch Recreation Center**

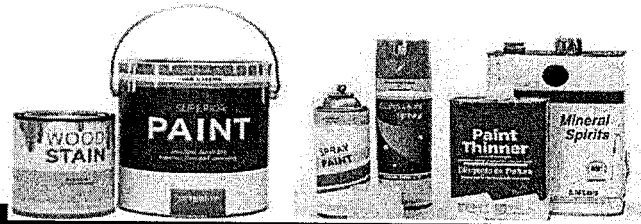
**401 Washington Street Newburgh, NY 12550**

**RAIN OR SHINE!**

Sponsored by Orange County DPW Division of EF&S., O.C. Sheriff's Office, PaintCare, and County Executive Steven M. Neuhaus, Co-Sponsored by NYSDEC

Wet Latex, Acrylic, and Water Based Paint

**NOW ACCEPTED!**



## What to Bring

- **Oil and now Wet Latex/Water Based Paints**
- Stains and Varnishes
- Paint Thinners & Strippers
- Wood Preservatives
- Resins, Rosins & Adhesives
- Polishes for Furniture, Floor & Metal
- Cleaners for Rug & Upholstery
- Cleaners for Oven, Toilet Bowl & Drain
- Swimming Pool Chemicals
- Pesticides, Herbicides, Insecticides  
(Including Lawn Care Products)
- **Fluorescent Bulbs**
- Spot Removers
- Dry Cleaning Solvents
- Lighter Fluids, Camp size propane tanks
- Septic Tank Degreasers
- Full or Partially Full Aerosol Cans
- Rubber Cement, Airplane Glue
- Photo Chemicals, Chemistry Sets
- Engine Degreasers
- Carburetor Cleaners, Car Waxes
- Kerosene, Gasoline, Gas/Oil Mixes
- Fire Extinguishers
- Mercury Thermostats, Thermometers
- **Pharmaceutical Drugs**
- Rechargeable (Ni-Cd) Batteries
- Auto and Tractor Batteries
- Transmission Fluids, Brake Fluids
- Motor Oil & Antifreeze

## What NOT to Bring

- Electronics, Computers, VCR's
  - Home Appliances
  - Tires of any kind
  - BBQ Propane Tanks
- } *Take to your local Transfer Station*
- Household Batteries
  - **Dried Latex Paint**
  - **Smoke Detectors**
  - Ammunition
  - Fireworks
  - Explosives
  - **Medical Sharps**
- } *Bag and throw in Trash*
- } *Contact company on back of unit*
- } *Call the Police Department*
- } *Take back to the hospital*
- Radioactive Materials
  - Unknown Gases
  - Controlled Substances
  - Pathological Material
- } *Call (845) 291-2640*

<http://www.orangecountgov.com/efs>  
[esiljkovic@orangecountygov.org](mailto:esiljkovic@orangecountygov.org)

- COVID-19 safety protocols may apply.
- Please load your materials in the rear of your vehicle.
- For your safety, please remain in your vehicle.
- Event staff will unload your materials.
- No smoking on site.
- Valid ID showing Orange County residency.

*Also accepted at Orange County Transfer Stations 1, 2, & 3.  
 (Located at: New Hampton, Newburgh, Port Jervis)*



**Steven M. Neuhaus**  
*County Executive*

March 26, 2026

«MUNICIPALITY»  
ATTN: «FNAME» «LNAME»  
«STREET\_ADDR1»  
«STREET\_ADDR2»  
«CITY», «STATE» «ZIP»

**Re: Orange County Department of Health (OCDOH)  
Reminder of Jurisdictional Oversight and Review**

Dear Municipal Official,

In an effort to have good communication with our municipal partners the Orange County Department of Health (OCDOH) has been providing an annual mailing/email blast to municipal leaders. We have a mutual interest in ensuring that development projects move smoothly through review & approval, and at the same time meet all code requirements. Our hope is that this correspondence helps to facilitate that goal. Below you will find a list of situations for which municipalities should be referring projects to OCDOH for review and approval. The summary of this list, and the first question municipalities should be asking for anything this office may be involved with is, "Have you called the Health Department to discuss?". **Feel free to give anyone our number 845-291-2331** and we would be happy to discuss with them any potential involvement we may have.

As far as instances where OCDOH may be involved, listed below, please note that we have attempted to provide a complete list of all projects that should be referred to our office; however, please understand that this may not be all-encompassing. Please reach out to our office anytime should you have questions and/or require further clarification. **Also, please pass this correspondence onto your engineers, building inspectors, code enforcement officers, planning board members, and anyone else that may benefit from this list.**

1. Any modifications/changes to a new or existing establishment, which will be an Orange County Department of Health permitted facility, falls under the jurisdiction of this office for review and approval. Permitted facilities include, but may not be limited to: campgrounds, children's camps, food services, migrant farm worker housing, mobile home parks, public swimming pools, bathing beaches, mass gatherings (>5,000 people for 24 hours or more), and temporary residences (hotels/motels/etc.) designed for 11 or more occupants. Please be aware of Non-Owner occupied Bed and Breakfasts OR B&Bs with 11 or greater occupants, both of which would require Temporary Resident permitting by our office. Businesses which are considered a "Bed and Breakfast", but are not owner-occupied, or have the capacity to have greater than 11 occupants, are actually Temporary Residences which must be permitted by OCDOH.
2. Proposed restaurants, or modifications to existing restaurants, must have kitchen, dining room, and restroom plans approved by this office, prior to construction.

## DEPARTMENT OF HEALTH

**Dr. Jennifer L. Roman, DO**

**Acting Commissioner**

124 Main Street  
Goshen, New York 10924

**Environmental Health**

Phone: (845) 291-2331  
Fax: (845) 291-4078  
www.orangecountygov.com

3. Any modifications to, or installation of, a new sewage disposal system and/or water well or water treatment system, servicing a permitted facility (as noted above), would require review and approval by this office and/or the NYSDEC.
4. All alternative sewage disposal systems which include, but are not limited to, raised systems, mound systems and intermittent sand filters (either new construction or replacement), must be referred to this office.
5. Any proposed sewage disposal systems that will not meet proper separation distances must be referred to this office. Proper separations can be found in Appendices 5-B and 5-D of Part 5, subpart 5-1, of the New York State Sanitary Code, NYSDOH Residential Onsite Wastewater Treatment Systems – Design Handbook, and/or the NYSDEC Design Standards for Intermediate Sized Wastewater Treatment Systems. All of these documents can be found on our website: [www.orangecountygov.com/539/Applications-Forms-Permits-Documents](http://www.orangecountygov.com/539/Applications-Forms-Permits-Documents), under the “Engineering Plan Submissions” heading.
6. New major realty subdivisions must be reviewed and approved by this office. A major subdivision (subdivision under Article 11 of Public Health Law) is defined as 5 or more lots that are each 5 acres or less. Please be cognizant of ‘creeping’ subdivisions, if a minor subdivision is re-subdivided less than 3 years later and under common ownership, all lots may be subjected to the rules of a major subdivision and will require our review and approval of the entire subdivision.
7. Modifications to wells, sewage disposal systems, or lot line changes that were part of a subdivision that this office previously reviewed and approved, or ANY changes to a project previously approved by this office, must be referred to our office for approval of these changes. We are currently working with the Orange County Clerk’s office to ensure all OC Departments are involved as appropriate, if any procedures change you will be notified at that time.
8. Any proposed private wells that do not meet the separation requirements of Appendix 5-B (of Part 5 of the NYS Sanitary Code) should be referred to this office.
9. Any newly proposed (or modifications to an existing) Public Water System (anything with its own well(s) that serves an average of 25 people per day for a minimum of 60 days out of the year, or has 5 or more service connections), must be referred to this office. Our office must accept any proposed well location prior to drilling. We may also need to be involved if any of these types of facilities are reopening, as water treatment may have been removed and will need reapproval prior to opening.
10. Any modifications to a public water supply source, treatment, or distribution system must be referred to this office for review and approval. It should be noted that installation of service lines would not have to be referred to our office; however, water main extensions (any water line that includes a fire hydrant or serves more than one building) would.
11. All primary testable backflow prevention devices (BFPD) on premises served by public water supplies (except for one- and two-family residences) must be reviewed and approved by our office. Please note that we have updated our BFPD checklist and application. Please be reminded that the municipality must sign off on the BFPD that is protecting your water system, this signature indicates that the device proposed is consistent with your local cross connection control program and any other local requirements in place to protect your water system.
12. Any newly proposed (or modifications to an existing) public swimming pool must be reviewed and approved by this office. These may be within a permitted facility (e.g. temporary residence pools, campground pools, mobile home park pools, etc.) OR as an independent facility.

13. It should be noted that a municipality can refer projects to our office for any reason. If a referral is being made for separation issues, alternative sewage disposal systems, or for any other reason not noted above, our office will need that referral in writing from a municipal official.

This office would strongly advise all our municipalities to take a careful look at sewage capacity in strip malls and multiuse buildings that are served by an onsite sewage disposal system. Our office reviews this information only when a permitted facility is present in the building, and we are finding that because of this constant change of use, the building(s) does not always have adequate septic capacity, or even a valid SPDES permit in some cases. Inadequate septic capacity may result in septic failure, which will ultimately come back to this office as a public health nuisance. This review of septic capacity has been impacting seating capacities and functionality of our permitted facilities. During the Certificate of Occupancy issuance process, we respectfully encourage you to evaluate on site activities at strip malls and how they may impact on-site septic capacity. We have had situations, for example, where changes in strip malls increase sewage use on premises. We at the Health Department will not know that unless it involves a Health Department permitted entity such as a restaurant. We believe this close review will help to reduce the number of failing septic systems at these multiuse buildings. Please note our office is available to provide assistance in these evaluations if you would like.

NOTE: This office instituted a change to our standard of review in 2021 where we no longer accept water meter readings as design flow. On all future reviews conducted by our office we will be using the NYSDEC Design Standards for Intermediate Sized Wastewater Treatment Systems (2014). Values can be found starting on page B-16, this document can be found on our website: [www.orangecountygov.com/539/Applications-Forms-Permits-Documents](http://www.orangecountygov.com/539/Applications-Forms-Permits-Documents). This method of review was put into place to stay consistent with published design standards, and to move away from meter readings given the high turnover rate in these buildings which leads to inconsistent historical meter readings. We believe this is more consistent with industry design standards, is a look forward at potential sewer flow (not back), and provides an inherent safety factor to protect the property owner, the municipality, our office, but most importantly public safety.

At this same link: [www.orangecountygov.com/539/Applications-Forms-Permits-Documents](http://www.orangecountygov.com/539/Applications-Forms-Permits-Documents) you will find our office's updated review fee schedule which changed in 2023. Feel free to pass this information along as part of your referral process if you would like. No changes to review fees were made in 2026.

The purpose of this letter is to provide clarification on OCDOH jurisdiction and we do not speak on behalf of the New York State Department of Environmental Conservation (NYSDEC); however, in addition to contacting our office, we would recommend that municipalities reach out to the NYSDEC for sewage disposal system reviews where the design capacity is greater than 1,000 gpd, where septic systems have the admixture of industrial waste (regardless of size), or for any surface discharges.

Please feel free to reach out to our office anytime to discuss any specific project that may not have been addressed by this letter, may not fit neatly into one of these categories, or if you have any general questions or concerns.

Respectfully,



Steven Gagnon, M.P.H., P.E.

Principal Public Health Engineer

cc: Lisa Lahiff & Elizabeth Giordano, Deputy Commissioners of Health  
Municipalities (via email)  
Municipal Code Enforcement Officers (via email)  
file

## Warwick Town Clerk

---

**From:** Gagnon, Steven <SGagnon@orangecountygov.com>  
**Sent:** Tuesday, March 24, 2026 8:06 AM  
**Subject:** OCDOH - Municipal Jurisdictional Reminder Letter 2026  
**Attachments:** Jurisdictional reminder letter to municipalities 2026.pdf

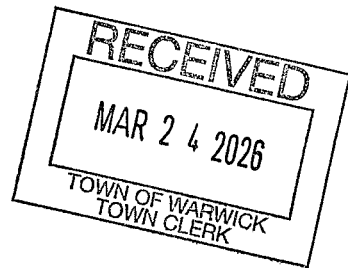
Good morning Municipal Officials and Building Departments,

Please see attached a copy of a letter that is going in the mail Thursday. Please feel free to pass this along to anyone that may benefit from this information, including but not limited to, Municipal Engineers, Consultants, etc. Also, please reach out to our office anytime with questions/comments/concerns/discussions/etc.

Kindly,

Steve

**Steven Gagnon, M.P.H., P.E.**  
Principal Public Health Engineer



**Orange County Department of Health**

Environmental Health Division

124 Main St. – 3<sup>rd</sup> Floor, Goshen, NY 10924

Desk: 845-291-2473 | Office: 845-291-2331 | Fax: 845-291-4078

[sgagnon@orangecountygov.com](mailto:sgagnon@orangecountygov.com) | website: [www.orangecountygov.com](http://www.orangecountygov.com)

**PLEASE TAKE NOTICE:** This e-mail message, as well as the information transmitted is intended only for the person or entity to which it is addressed and may contain confidential and/or privileged material, and may not be distributed to unauthorized individuals. Any review, retransmission, dissemination, copying, disclosure or other use of, or taking of any action in reliance upon, this information by persons or entities other than the intended recipient is prohibited. If you are not the addressee indicated in this message (or responsible for delivery of the message to such person), and/or you receive this transmission in error, please contact the sender immediately and delete the material from your computer.

This communication may contain confidential information and is intended only for the individual or entity to whom it is addressed. Any review, dissemination, or copying of this communication by anyone other than the intended recipient is strictly prohibited. If you are not the intended recipient, please contact the sender, and destroy all copies of the original message. No responsibility is accepted by Orange County Government for any loss or damage arising in any way from receiving this communication.



**FM Construction Group, LLC**  
 100 Dr. Martin Luther King Jr. Blvd  
 East Orange, NJ 07018  
 Tel: (973)989-1616

# Proposal

Proposal Date: 9/15/2025  
 Proposal # E14741

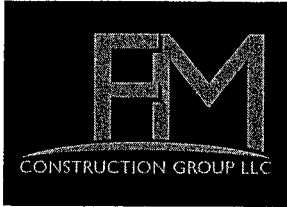
<b>Proposal Submitted To:</b>
Town of Warwick Attn: Samantha Walker Cell: 845.258.0670 RecreationDirector@TownOfWarwick.org

<b>Project Name &amp; Address:</b>
46 Bowen Rd Warwick, NJ Building 3 - The Lodge

Scope of Work As Described Below	Total
[ ROOF REPLACEMENT ]	
<ul style="list-style-type: none"> <li>- Remove existing asphalt shingles, underlayments, flashing pipes, drip edges, etc down to original roof sheathing.</li> <li>- All debris to be removed in containers provided by FM Construction Group, LLC.</li> <li>- Inspect the roof deck for any damages and/or deteriorations. We are including up to 25 sheets of new plywood within the estimate.</li> </ul> <p>****If plywood needs to be replaced it will be at an additional fee of \$125.00 per sheet for 3/4" CDX Plywood</p> <ul style="list-style-type: none"> <li>- Furnish &amp; Install GAF "Timberline HDZ" Lifetime Architectural Shingles over 15lb. Felt Paper.</li> <li>- Furnish &amp; Install GAF Ice and Water shield at all valleys, eaves, and sidewalls.</li> <li>- Furnish &amp; Install GAF Continuous Ridge Vents.</li> <li>- Furnish &amp; Install Aluminum F4-1/2" Drip Edges.</li> <li>- Furnish &amp; Install (2) new Velux Non Operable Skylights [30" x 30"] deck mounted with new flashing</li> </ul>	72,690.00
<ul style="list-style-type: none"> <li>- Rmove existing flat roofing system down to original roof deck.</li> <li>- All debris to be removed in containers provided by FM Construction Group, LLC.</li> <li>- Inspect the roof deck for any damages and/or deteriorations. We are including up to 5 sheets of new plywood within the estimate.</li> <li>- Mechanically attach Firestone's 1/2" ISOGard HD Coverboard over existing sloped deck.</li> <li>- Fully adhere Firestone's 60mil "RubberGARD" Black EPDM membrane to manufacturers specifications.</li> <li>- Furnish manufacturers 15 Year NDL total System Warranty (Labor &amp; Materials)</li> <li>- Furnish &amp; Install Aluminum 0.032 gauge flashings.</li> </ul>	29,125.00
<p>Alternates:</p> <p>1. Upgrade Warranty to GAF's Golden Pledge (Complete Labor &amp; Material Warranty - 40 years, Non Prorated for 20 years for materials, and 25 year full labor warranty): \$3,900.00</p> <p>2. Install new Aluminum Seamless [6"] K Style Gutters with [3" x 4"] leaders: \$3,850.00</p>	5,200.00

Thank you for the opportunity. Any questions regarding estimates, please do not hesitate to call our office between the hours of 7am and 5pm Monday through Friday, and Saturdays 7am to 12pm

<b>Total</b>	<b>\$109,415.00</b>
--------------	---------------------



**FM Construction Group, LLC**  
 100 Dr. Martin Luther King Jr. Blvd  
 East Orange, NJ 07018  
 Tel: (973)989-1616

# Proposal

Proposal Date: 9/15/2025  
 Proposal # E14742

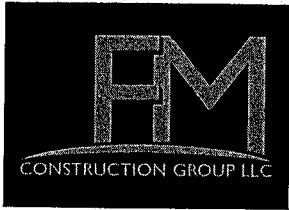
Proposal Submitted To:
Town of Warwick Attn: Samantha Walker Cell: 845.258.0670 RecreationDirector@TownOfWarwick.org

Project Name & Address:
46 Bowen Rd Warwick, NJ Building 4 - "The Arts"

Scope of Work As Described Below	Total
[ ROOF REPLACEMENT ]	
- Remove existing asphalt shingles, underlayments, flashing pipes, drip edges, etc down to original roof sheathing. - All debris to be removed in containers provided by FM Construction Group, LLC. - Inspect the roof deck for any damages and/or deteriorations. We are including up to 15 sheets of new plywood within the estimate.  ****If plywood needs to be replaced it will be at an additional fee of \$125.00 per sheet for 3/4" CDX Plywood	39,125.00
- Furnish & Install GAF "Timberline HDZ" Lifetime Architectural Shingles over 15lb. Felt Paper. - Furnish & Install GAF Ice and Water shield at all valleys, eaves, and sidewalls. - Furnish & Install GAF Continuous Ridge Vents. - Furnish & Install Aluminum F4-1/2" Drip Edges.	
- Furnish & Install (2) new Velux Non Operable Skylights [30" x 30"] deck mounted with new flashing	2,400.00
- Furnish & Install (4) new Velux Non Operable Skylights [30" x 47"] deck mounted with new flashing	6,400.00
- Remove existing flat roofing system down to original roof deck. - All debris to be removed in containers provided by FM Construction Group, LLC. - Inspect the roof deck for any damages and/or deteriorations. We are including up to 5 sheets of new plywood within the estimate. - Mechanically attach Firestone's 1/2" ISOgard HD Coverboard over existing sloped deck. - Fully adhere Firestone's 60mil "RubberGARD" Black EPDM membrane to manufacturers specifications. - Furnish manufacturers 15 Year NDL total System Warranty (Labor & Materials)	34,880.00
- Furnish & Install Aluminum 0.032 gauge flashings.	6,300.00
<b>Alternates:</b>	
1. Upgrade Warranty to GAF's Golden Pledge (Complete Labor & Material Warranty - 40 years, Non Prorated for 20 years for materials, and 25 year full labor warranty): \$3,250.00	
2. Install new Aluminum Seamless [6"] K Style Gutters with [3" x 4"] leaders: \$4,820.00	

Thank you for the opportunity. Any questions regarding estimates, please do not hesitate to call our office between the hours of 7am and 5pm Monday through Friday, and Saturdays 7am to 12pm

<b>Total</b>	<b>\$89,105.00</b>
--------------	--------------------



**FM Construction Group, LLC**  
 100 Dr. Martin Luther King Jr. Blvd  
 East Orange, NJ 07018  
 Tel: (973)989-1616

# Proposal

Proposal Date: 3/13/2026  
 Proposal # E14742-A

<b>Proposal Submitted To:</b>
Town of Warwick Attn: Samantha Walker Cell: 845.258.0670 RecreationDirector@TownOfWarwick.org

<b>Project Name &amp; Address:</b>
46 Bowen Rd Warwick, NJ Building 4 - "The Arts"

Scope of Work As Described Below	Total
[ ROOF REPLACEMENT ]	
<ul style="list-style-type: none"> <li>- Remove existing flat roofing system down to original roof deck.</li> <li>- All debris to be removed in containers provided by FM Construction Group, LLC.</li> <li>- Inspect the roof deck for any damages and/or deteriorations. We are including up to 5 sheets of new plywood within the estimate.</li> <li>- Mechanically attach Firestone's 1/2" ISOGard HD Coverboard over existing sloped deck.</li> <li>- Fully adhere Firestone's 60mil "RubberGARD" Black EPDM membrane to manufacturers specifications.</li> <li>- Furnish manufacturers 15 Year NDL total System Warranty (Labor &amp; Materials)</li> <li>- Furnish &amp; Install Aluminum 0.032 gauge flashings.</li> </ul>	36,380.00
<ul style="list-style-type: none"> <li>- Furnish and Install new Aluminum Seamless [6"] K Style Gutters with [3" x 4"] leaders.</li> </ul>	6,300.00
<ul style="list-style-type: none"> <li>- Furnish &amp; Install new Triple 4 Vinyl vented soffit.</li> <li>- Furnish &amp; install new Aluminum fascia.</li> <li>- Furnish &amp; install new Royal Cellular PVC column wrap.</li> </ul>	4,820.00
	7,970.00

Thank you for the opportunity. Any questions regarding estimates, please do not hesitate to call our office between the hours of 7am and 5pm Monday through Friday, and Saturdays 7am to 12pm

<b>Total</b>	<b>\$55,470.00</b>
--------------	--------------------



**FM Construction Group, LLC**  
 100 Dr. Martin Luther King Jr. Blvd  
 East Orange, NJ 07018  
 Tel: (973)989-1616

# Proposal

Proposal Date: 9/15/2025  
 Proposal # E14738

<b>Proposal Submitted To:</b>
Town of Warwick Attn: Samantha Walker Cell: 845.258.0670 RecreationDirector@TownOfWarwick.org

<b>Project Name &amp; Address:</b>
46 Bowen Rd Warwick, NJ Building 1 - "Preschool"

Scope of Work As Described Below	Total
[ ROOF REPLACEMENT ]	
<ul style="list-style-type: none"> <li>- Remove existing asphalt shingles, underlayments, flashing pipes, drip edges, etc down to original roof sheathing.</li> <li>- All debris to be removed in containers provided by FM Construction Group, LLC.</li> <li>- Inspect the roof deck for any damages and/or deteriorations. We are including up to 5 sheets of new plywood within the estimate.</li> </ul> <p>****If plywood needs to be replaced it will be at an additional fee of \$125.00 per sheet for 3/4" CDX Plywood</p> <ul style="list-style-type: none"> <li>- Furnish &amp; Install GAF "Timberline HDZ" Lifetime Architectural Shingles over 15lb. Felt Paper.</li> <li>- Furnish &amp; Install GAF Ice and Water shield at all valleys, eaves, and sidewalls.</li> <li>- Furnish &amp; Install GAF Continuous Ridge Vents.</li> <li>- Furnish &amp; Install Aluminum F4-1/2" Drip Edges.</li> </ul>	16,360.00
<p><b>Alternates:</b></p> <p>1. Upgrade Warranty to GAF's Golden Pledge (Complete Labor &amp; Material Warranty - 40 years, Non Prorated for 20 years for materials, and 25 year full labor warranty): \$1,300.00</p> <p>2. Install new Aluminum Seamless [6"] K Style Gutters with [3" x 4"] leaders: \$2,500.00</p>	

Thank you for the opportunity. Any questions regarding estimates, please do not hesitate to call our office between the hours of 7am and 5pm Monday through Friday, and Saturdays 7am to 12pm

<b>Total</b>	<b>\$16,360.00</b>
--------------	--------------------

ESTIMATE



Prepared For

Mountain Lake Park  
46 Bowen Road  
Warwick, New York 10990  
(845) 717-1258



**Gonzales Group Inc.**

80 Wisner Avenue Rear Bldg.  
Middletown, New York 10940  
Phone: (845) 381-0384  
Email: info@gonzalesroofing.com  
Web: www.gonzalesroofing.com

Estimate # 3040  
Date 03/20/2026

Description	Rate	Total
-------------	------	-------

Roof Replacement Proposal – Complete GAF Roofing System & EPDM Flat roof system / Main Building	\$86,950.00	\$86,950.00
--	-------------	-------------

SCOPE OF WORK

Gonzales Group Inc. shall furnish all labor, materials, and supervision necessary to remove and replace the existing roofing system with a complete GAF roofing system, installed in strict accordance with the manufacturer's specifications and local building codes.

1. Site Protection & Preparation

Protect the building and surrounding areas with tarps and coverings  
Remove or relocate obstacles within the work zone as required

2. Roof Removal & Deck Inspection

Tear off and properly dispose of one layer of existing shingles  
Clean and inspect the roof deck thoroughly  
Close the old vents

3. Deck & Wood Repairs (if required)

Replace damaged plywood decking at \$95 per sheet (additional if needed)  
Re-nail all existing plywood decking to current fastening standards  
Replace damaged fascia boards or rafters at \$10 per linear foot, if discovered

4. GAF Roofing System Installation

Install new 5 1/2 aluminum drip edge along all eaves and rake edges  
Install GAF WeatherWatch® Ice & Water Shield:

Minimum 6 feet up from all eaves  
Installed around all roof penetrations and vulnerable areas  
Install GAF TigerPaw™ Premium Synthetic Underlayment  
Install GAF Pro-Start® Starter Shingles along all eaves and rakes  
Install new GAF architectural shingles:  
Installed in a step-back pattern  
Six (6) nails per shingle for enhanced wind resistance  
Installed strictly per GAF specifications to maintain warranty eligibility

#### 5. Low slope areas / EPDM flat roof system

Install new 1/2" fiberboard insulation with screws and fasteners  
Install new EPDM rubber roof material  
Install a new flashing around the plumbing pipes  
Install a new Drip edge on the edges  
Install a new 6" cover tape around the edges  
Extend the roof over the walk-in freezer and install a new EPDM rubber roofing material

#### 6. Ventilation & Flashing

Install new flashing around all plumbing vent pipes  
Install new flashing around the chimney  
Install a new ridge vent system with matching ridge cap shingles  
Repair the damaged gutters

#### 7. Cleanup & Final Inspection

Complete debris removal from the roof and the property  
Final magnetic nail sweep of all surrounding grounds  
Leave the property clean and safe upon completion

---

Arts Building / Shingles roof replacement, Flat roof & Soffits repair	\$64,500.00	\$64,500.00
---	-------------	-------------

#### 1. Site Protection & Preparation

Protect the building and surrounding areas with tarps and coverings  
Remove or relocate obstacles within the work zone as required

#### 2. Roof Removal & Deck Inspection

Tear off and properly dispose of one layer of existing shingles  
Clean and inspect the roof deck thoroughly

#### 3. Deck & Wood Repairs (if required)

Replace damaged plywood decking at \$95 per sheet (additional if needed)  
Re-nail all existing plywood decking to current fastening standards  
Replace damaged fascia boards or rafters at \$10 per linear foot, if discovered

#### 4. GAF Roofing System Installation

Install new 5 1/2 aluminum drip edge along all eaves and rake edges  
 Install GAF WeatherWatch® Ice & Water Shield:  
 Minimum 6 feet up from all eaves  
 Installed around all roof penetrations and vulnerable areas  
 Install GAF TigerPaw™ Premium Synthetic Underlayment  
 Install GAF Pro-Start® Starter Shingles along all eaves and rakes  
 Install new GAF architectural shingles:  
 Installed in a step-back pattern  
 Six (6) nails per shingle for enhanced wind resistance  
 Installed strictly per GAF specifications to maintain warranty eligibility

5. Low slope areas / EPDM flat roof system

Install new 1/2" fiberboard insulation with screws and fasteners.  
 Install new EPDM rubber roof material.  
 Install a new flashing around the plumbing pipes.  
 Install a new Drip edge on the edges.  
 Install new 6" cover tape around the edges.

6. Ventilation & Flashing

Install new flashing around all plumbing vent pipes  
 Install a new ridge vent system with matching ridge cap shingles

7. Repair the entrance way soffits & Gutters

8. Cleanup & Final Inspection

Complete debris removal from the roof and the property  
 Final magnetic nail sweep of all surrounding grounds  
 Leave the property clean and safe upon completion

---

Repair Front Pre-School Building roof area around vent on back side of building	\$1,275.00	\$1,275.00
---	------------	------------

Remove and replace the flashing around the plumbing pipes.

WARRANTY

This roofing system qualifies for the following warranties:

GAF 50-Year Silver Pledge® Material Warranty  
 25-Year Workmanship Warranty provided by Gonzales Group Inc.  
 All warranties are valid only when installed in accordance with the manufacturer's specifications.

WEATHER CONDITIONS

Roofing work will be performed only under favorable weather conditions to ensure proper installation, sealing, and long-term performance.

PAYMENT TERMS

Total Contract Price: \$152,725

\$500.00 due upon contract signing, 30% when we start the job, and the remaining balance due upon completion of the work

Payment shall be made payable to Gonzales Group Inc.

---

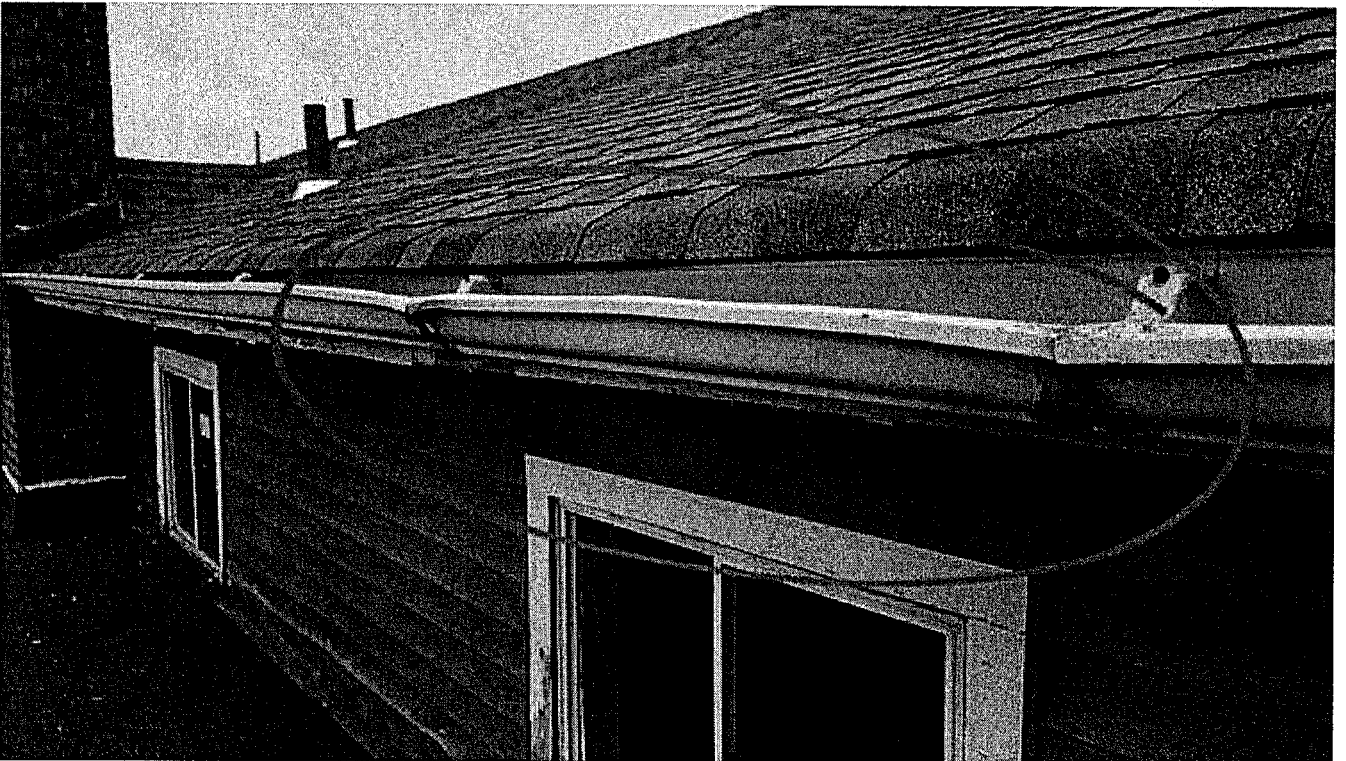
<b>Subtotal</b>	<b>\$152,725.00</b>
<b>Total</b>	<b>\$152,725.00</b>

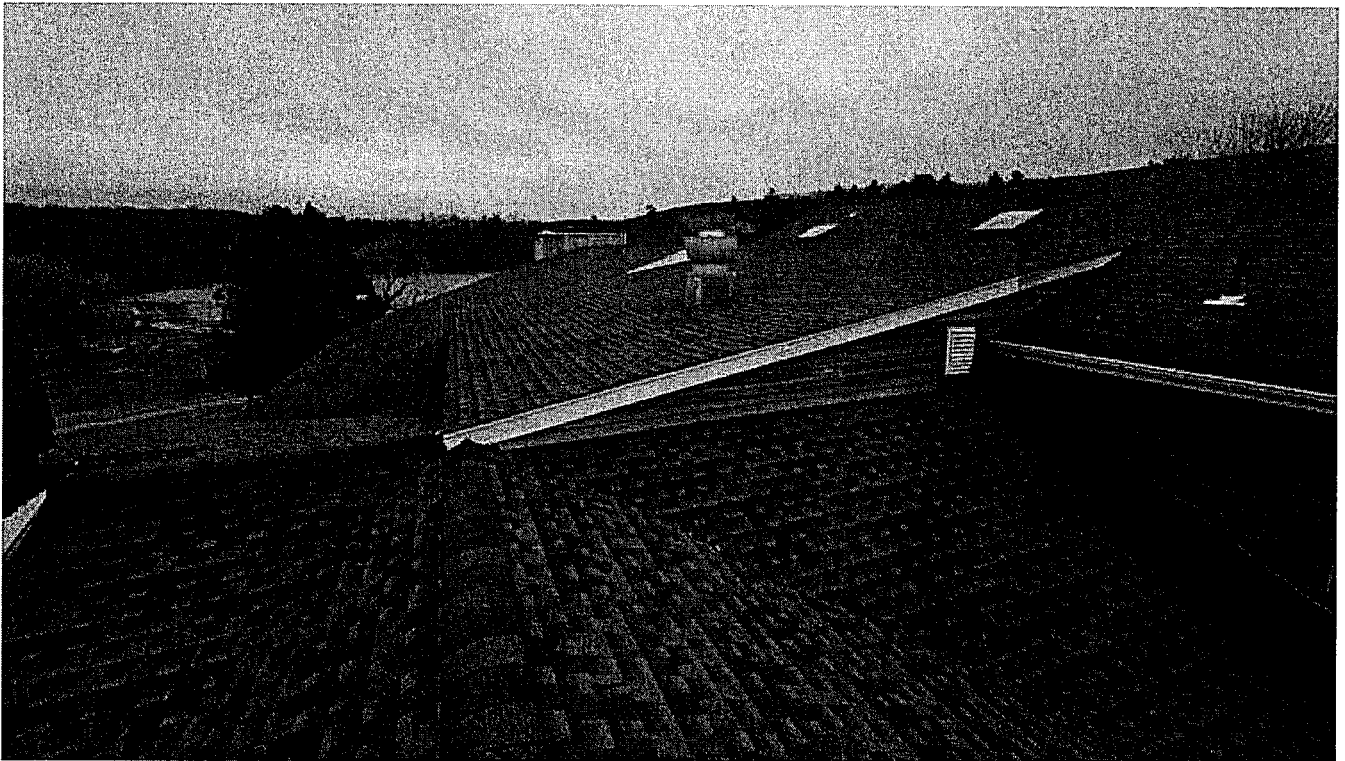
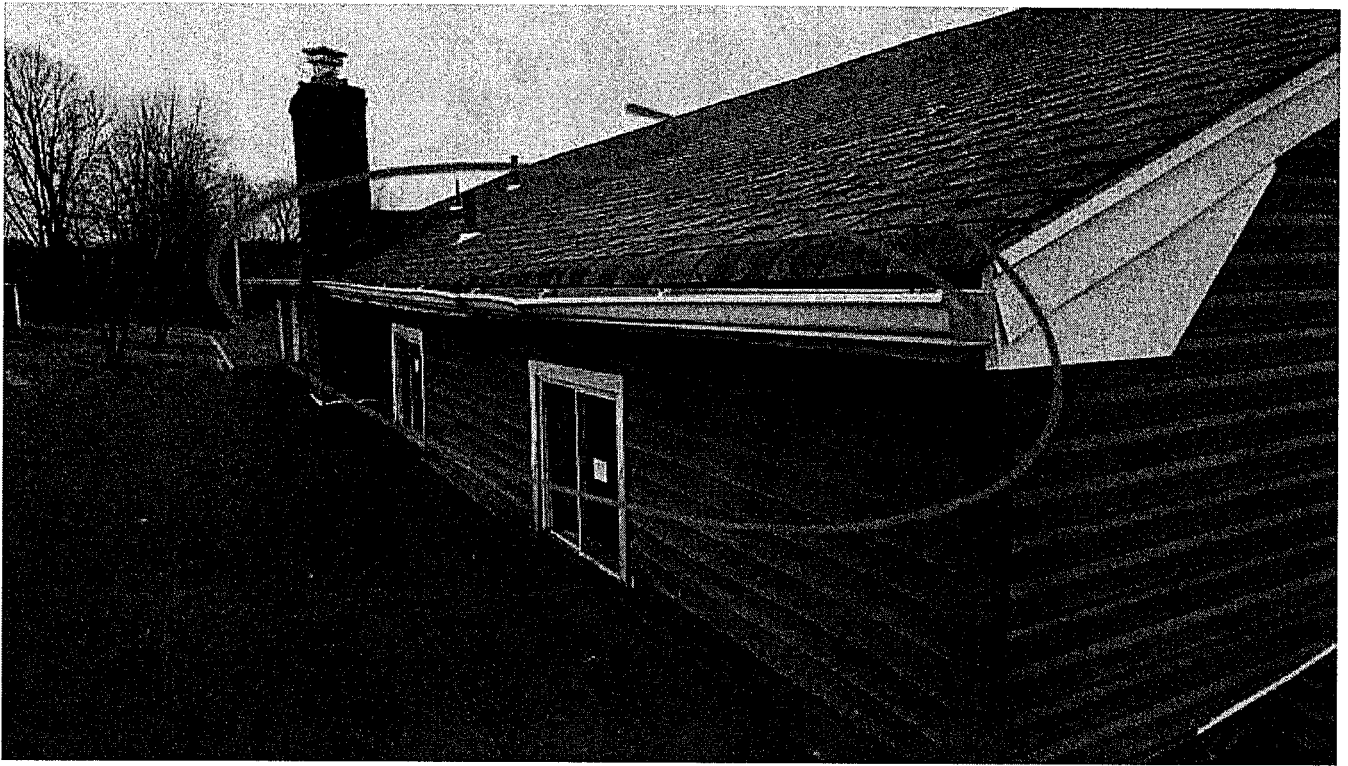
---

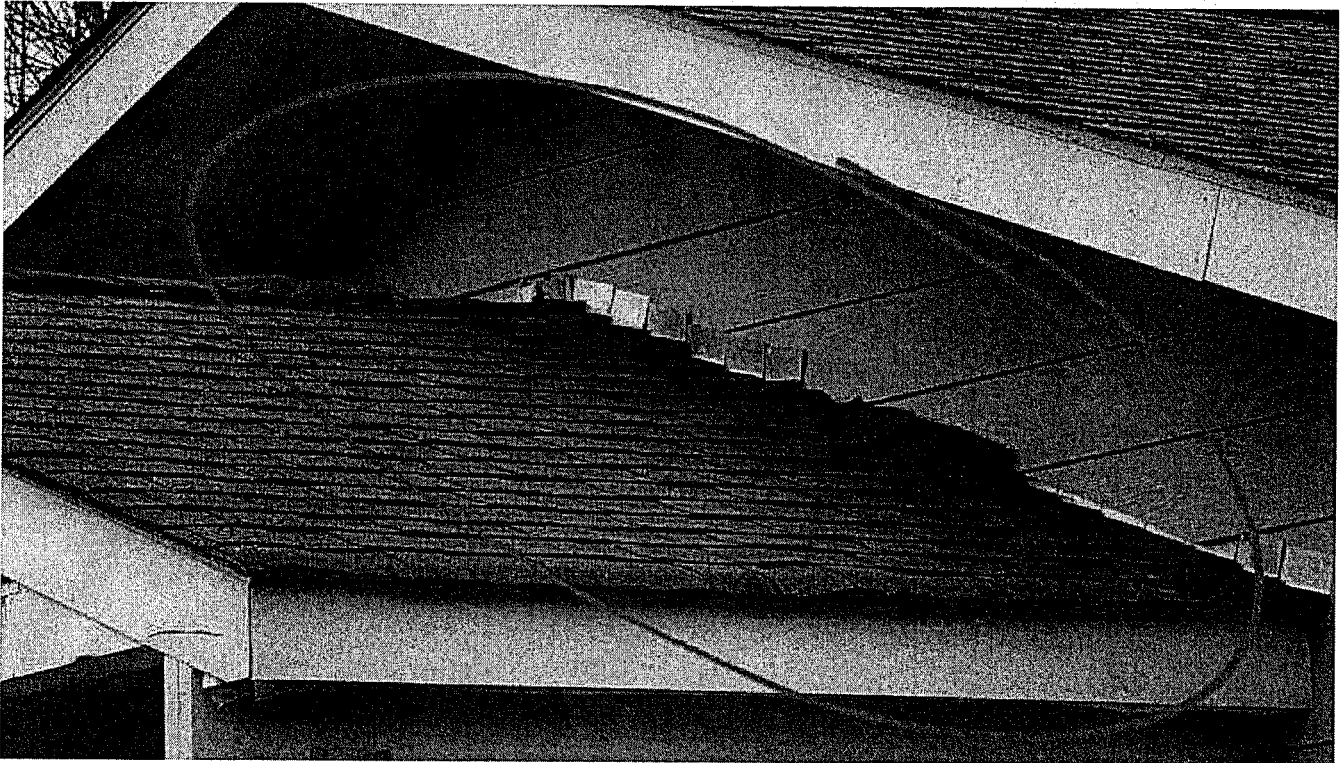
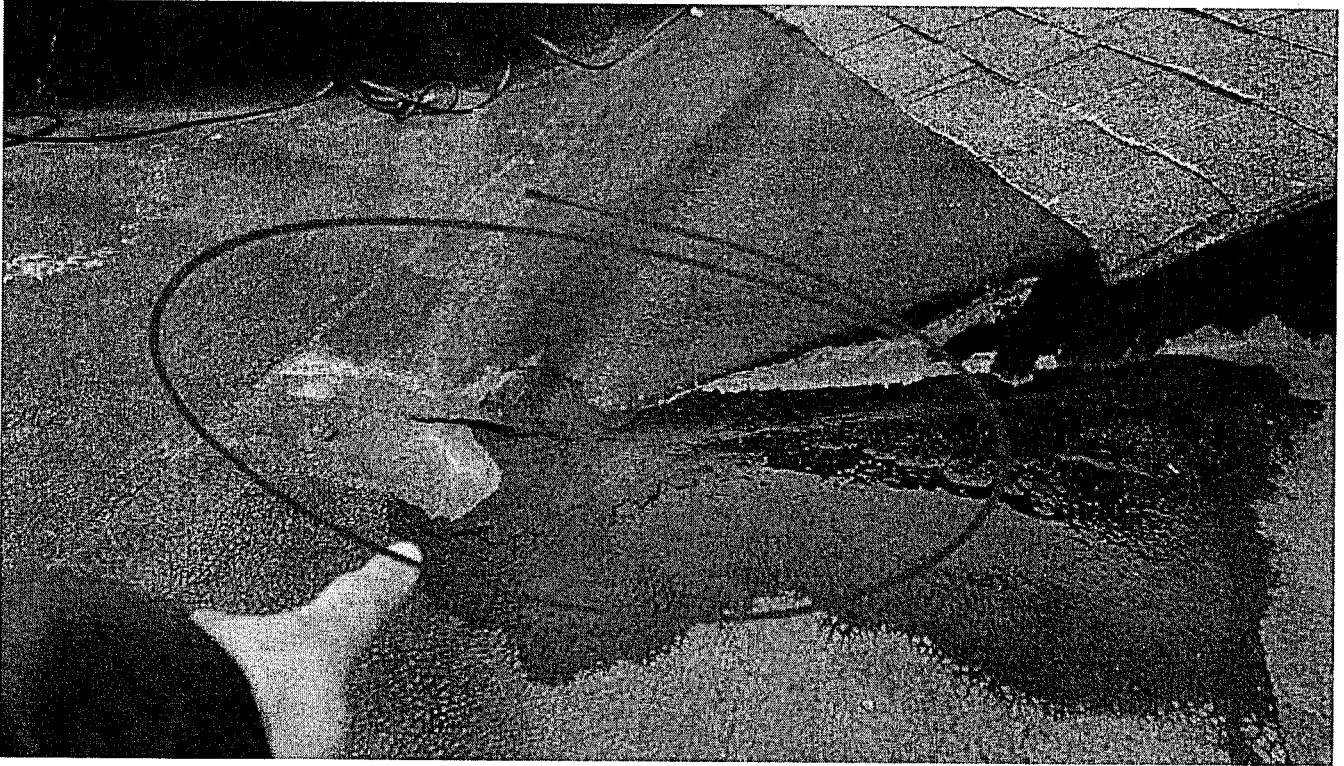
**Notes:**

ESTIMATE & PRICING TERMS

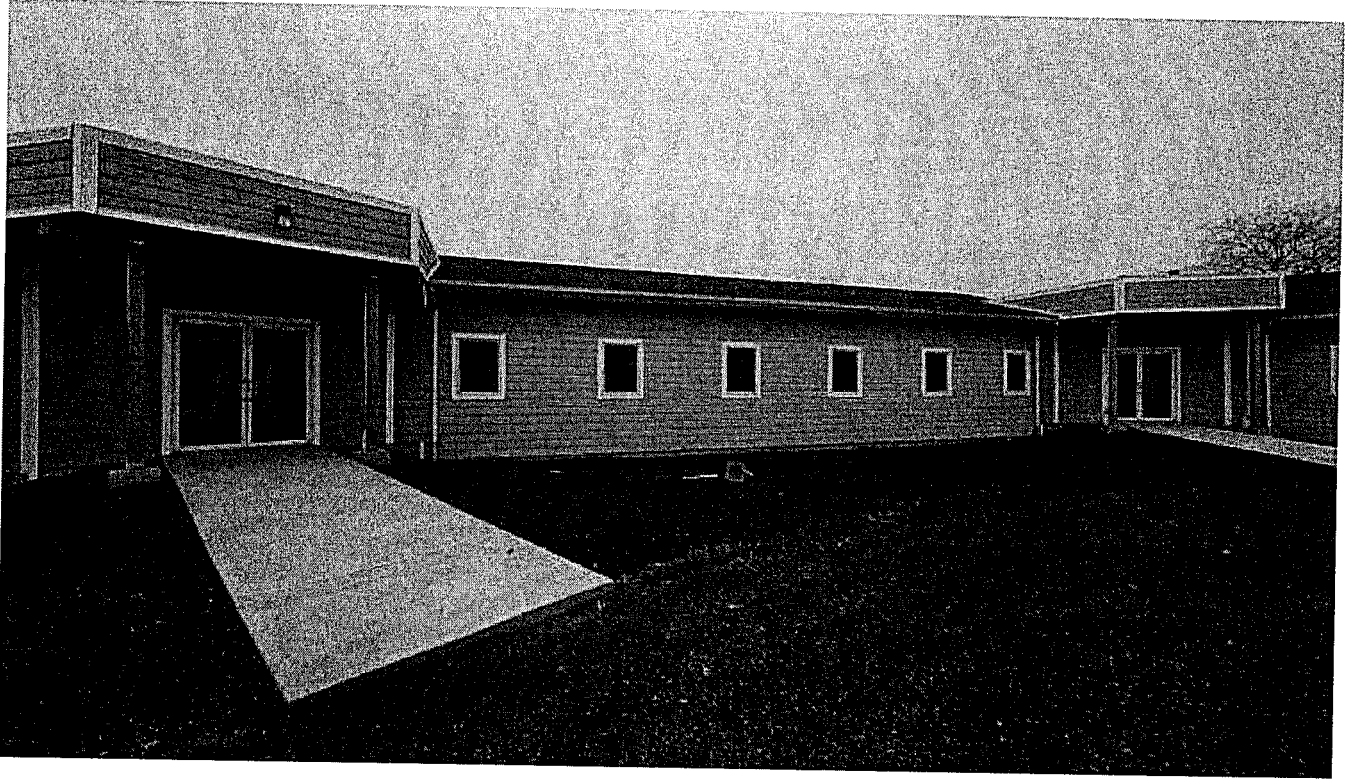
This estimate pertains to a comprehensive roof replacement project that employs the complete GAF Roofing System, including GAF Timberline HDZ® shingles and an EPDM rubber roof system. The estimate encompasses all materials, labor, and waste removal required to fulfill the project specifications as outlined in this agreement.

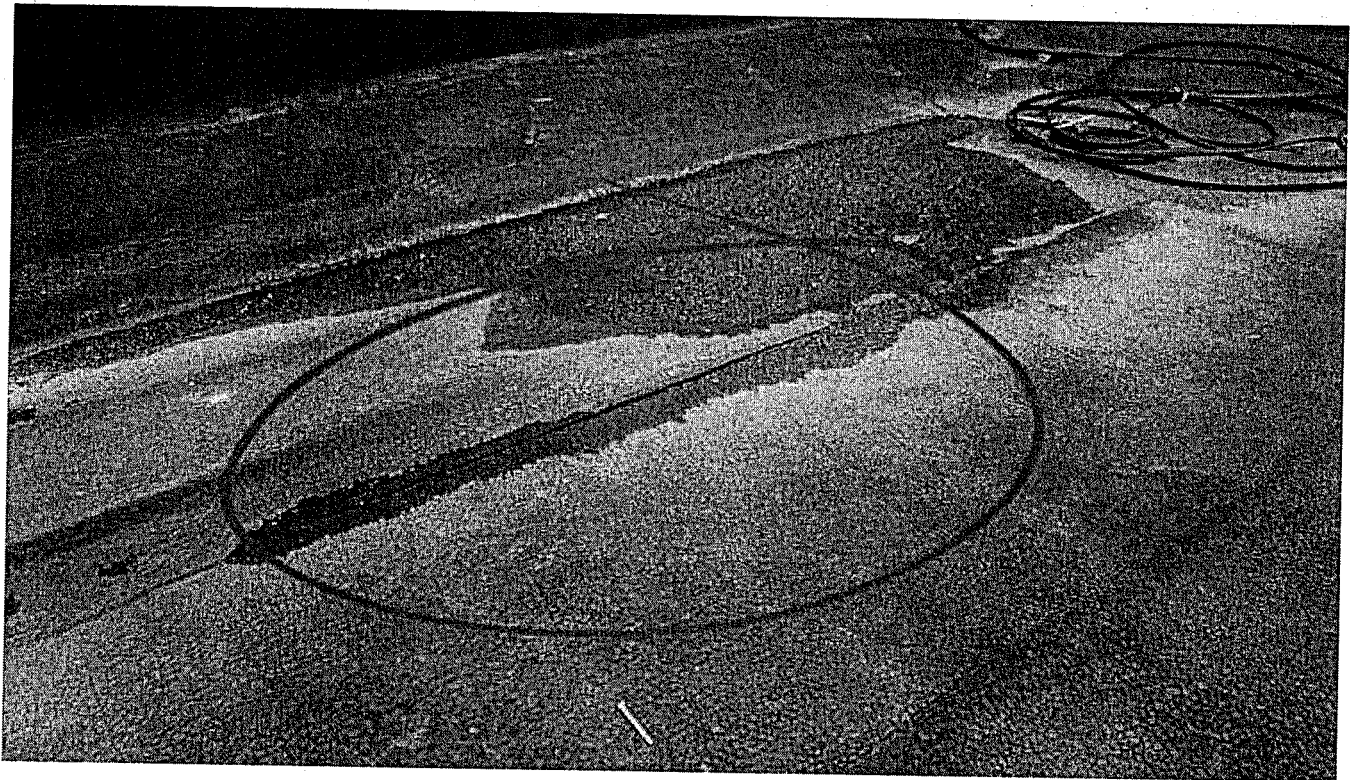




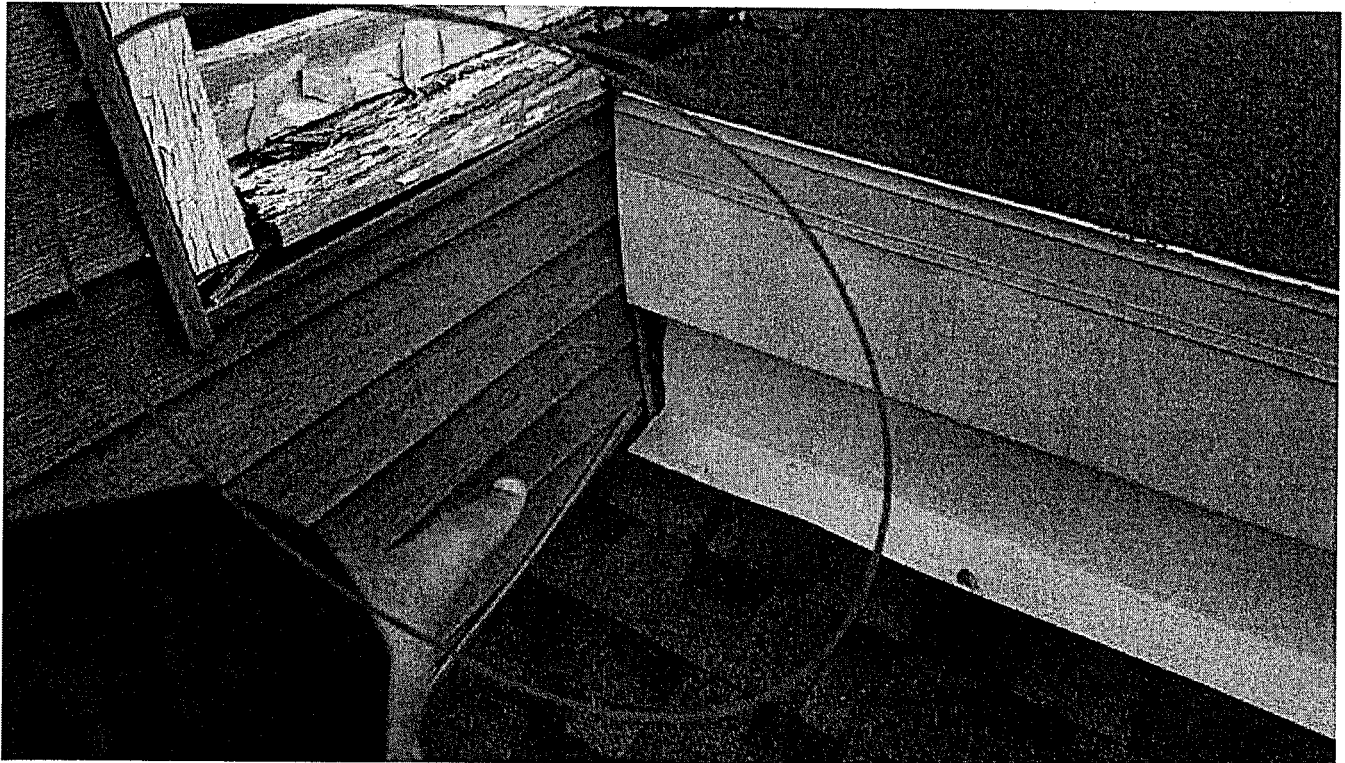
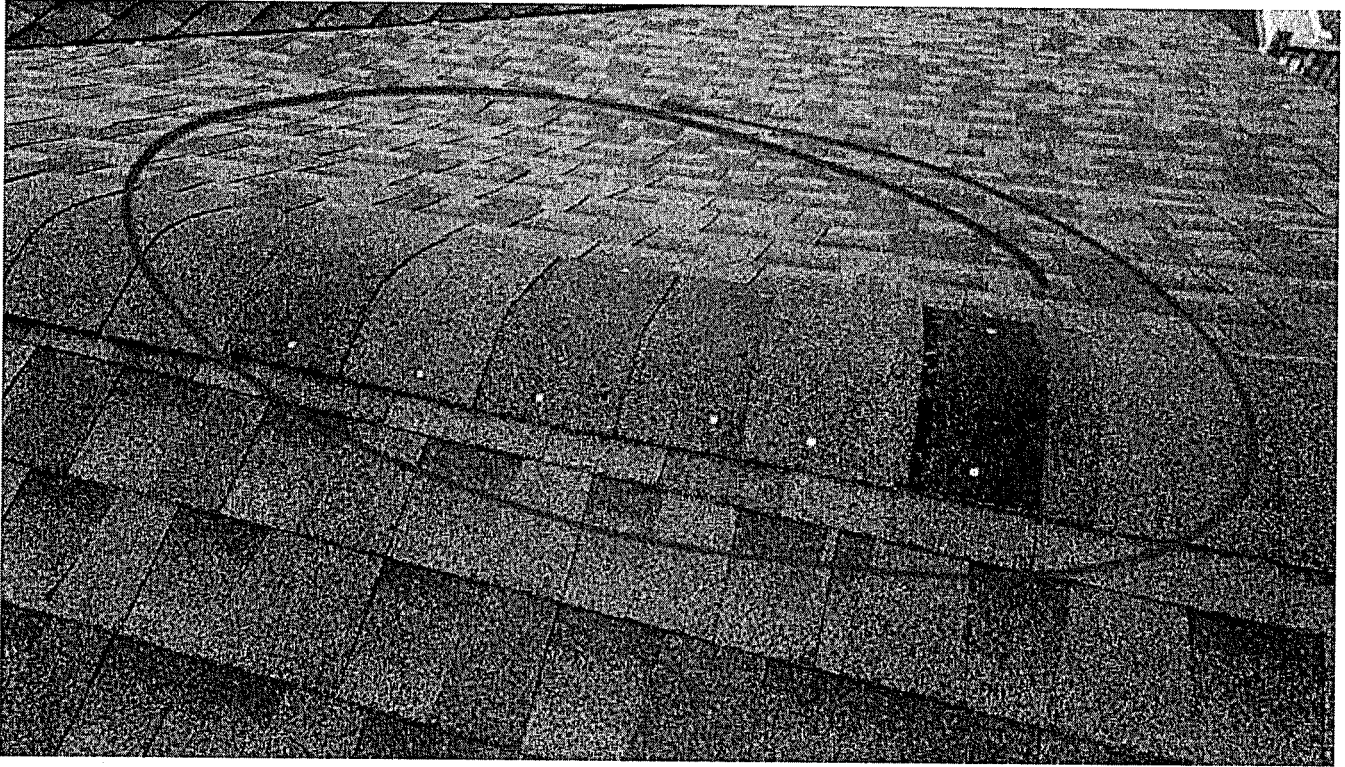


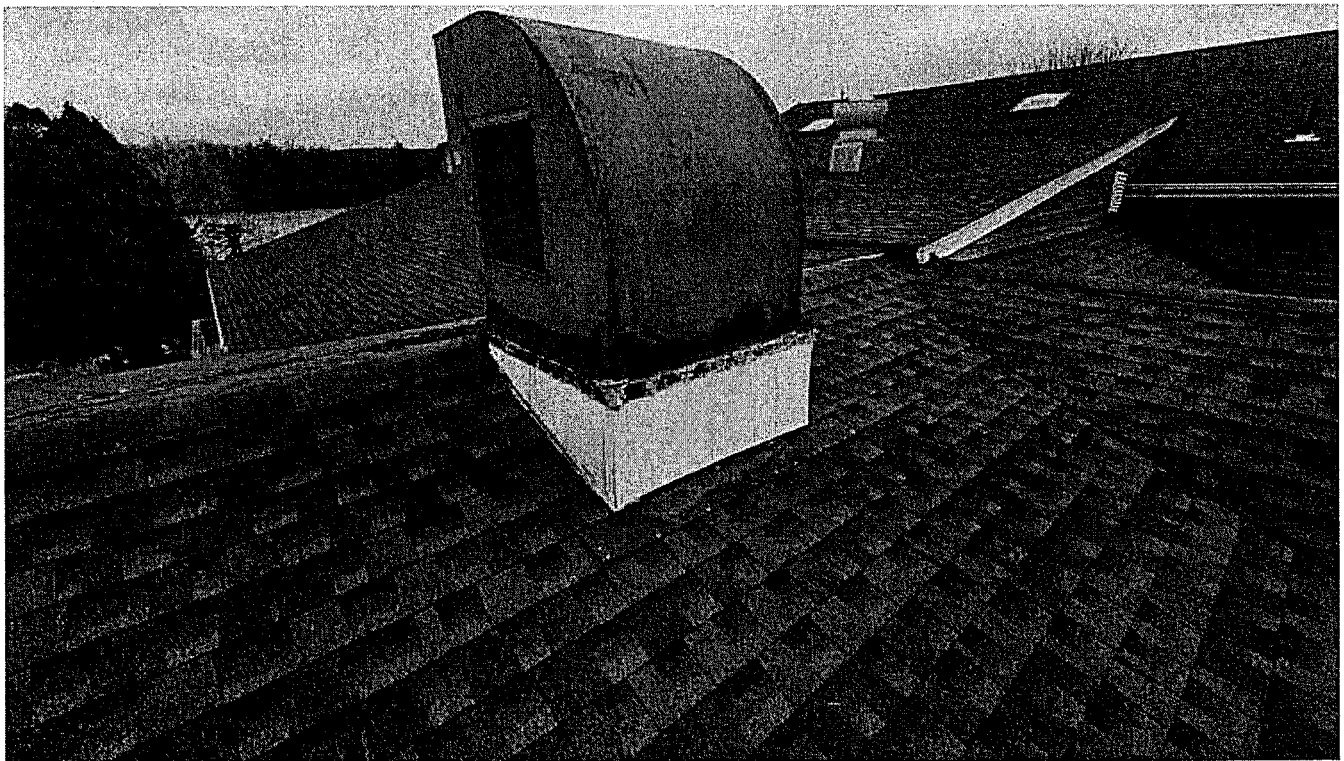


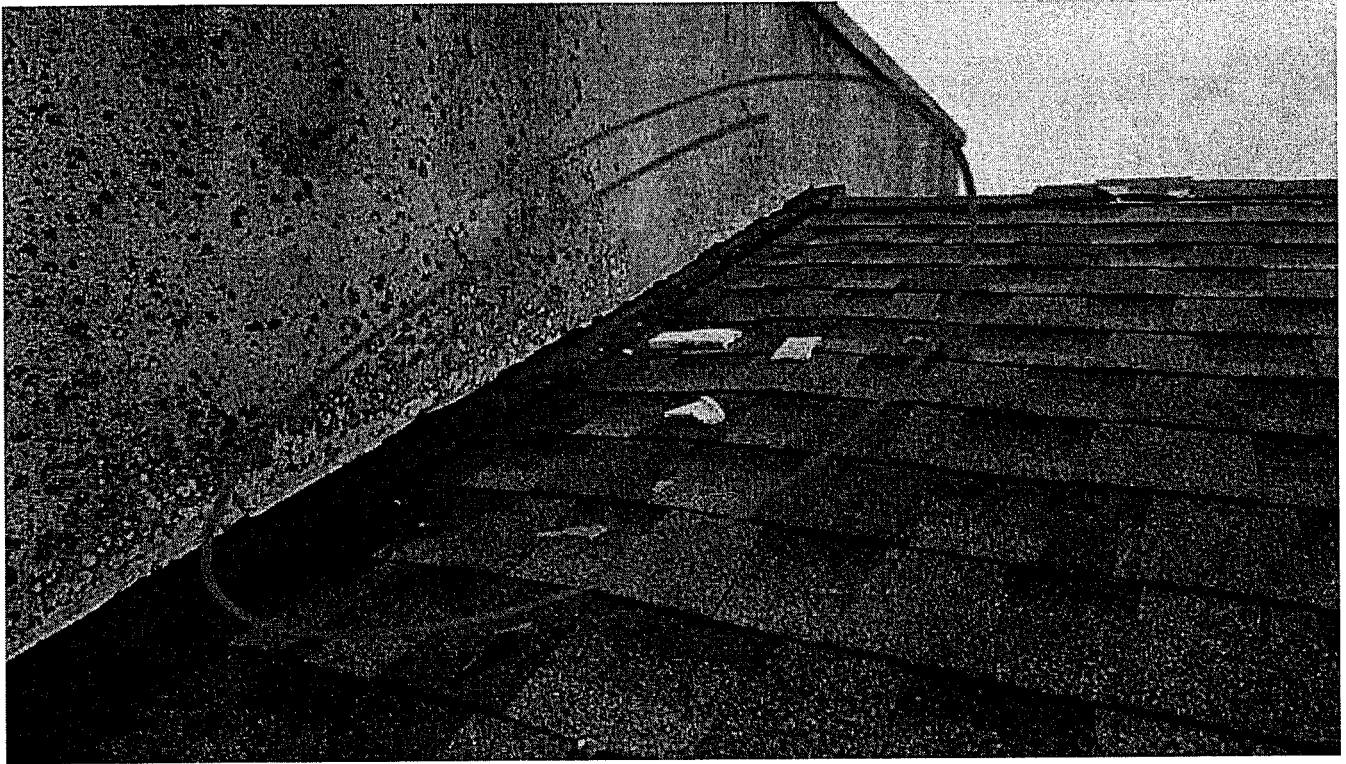












By signing this document, the customer agrees to the services and conditions outlined in this document.

---

Pedro Gonzales

---

Mountain Lake Park



**Utility Release Authorization  
Plan**

**Town of Warwick**

**New York**

**Steve Bottita**

(716) 444-5896

**Caleb Benham**

(617) 352-9075

232 Madison Avenue 3<sup>rd</sup> Floor  
New York, NY 10016

Regional Offices in Buffalo and Boston

[www.veregy.com](http://www.veregy.com)

Veregy, LLC is not a legal, tax, investment, or financial advisor, nor does Veregy directly underwrite any projects. Veregy, LLC's content is for informational purposes only. Any content readers should not construe any such information or other material as legal, tax, investment, or financial advice. Regardless of anything to the contrary, nothing available on or through Veregy, LLC's business practices should be understood as a recommendation that an individual or organization should not consult with a legal, tax, investment, or financial professional to address their particular circumstances.

**Utility Release Letter of Authorization Plan for Town of Warwick, NY** March 9, 2026**Introduction and Purpose**

This Non-Binding Utility Release Letter of Authorization Plan outlines the collaborative process discussed between Veregy and the Town of Warwick, NY to evaluate and implement (if as requested by the Town based on due diligence) energy efficiency, decarbonization, and sustainability measures. The plan is designed to be flexible, with timelines based on the completion of key activities rather than fixed dates. Veregy acts as a turnkey partner to the Town of Warwick with this initial step being a fact-finding exploration of your built environment and presentation of those findings by our team using a variety of contracting/implementation methods as permissible under NYS legislation including Article 9 of the NYS legislature <https://www.nysenate.gov/legislation/laws/ENG/A9>

**Project Phases****Phase 1: Initial Assessment (Duration: Day 1 – week 4)**

- Conducted initial meeting
- Provide/Execute utility release authorization plan - Review existing utility data and facility information
- Schedule & Perform site visit to key municipal facilities/engage staff and facilities persons
- Identify opportunities for energy savings, facility improvements, and renewable energy

**Phase 2: Comprehensive Evaluation (Duration: Weeks 4-6)**

- Perform detailed energy audit of facilities in person
- Analyze utility consumption patterns and costs for all municipal buildings
- Develop list of potential energy conservation measures tailored to local needs

**Phase 3: Proposal Development (Duration: Weeks 6 - 8)**

- Create customized energy efficiency and sustainability plan for consideration
- Estimate potential savings and project costs for the Town
- Prepare preliminary financial analysis and funding options, including any available state or federal incentives

Pause Point - RFQ issuance if required – If no direct Cooperative/alternative implementation available

**Phase 4: Review and Approval (Duration: Weeks 8-10)**

- Present findings and recommendations to the Town and other key stakeholders
- Address questions and concerns from town officials
- Finalize project scope and implementation strategy for the Client

**Phase 5: Implementation Planning (Duration: Weeks 10-12)**

- Develop detailed project timeline and milestones for energy upgrades
- Secure necessary approvals from Town Council and relevant committees
- Prepare for project kickoff in alignment with municipal calendar

**Information Requirements**

To facilitate this process, the Client agrees to provide, as available:

- 12 months of utility bills for all municipal buildings
- Facility blueprints (square footage) and equipment inventories for town properties
- Access to relevant personnel for interviews and site visits
- Any previous energy audits or related studies conducted for the Town
- Copies of Utility Supply Agreements with third parties & Copies of PPAs if available



**Confidentiality and Data Protection**

Veregy commits to treating all provided information with strict confidentiality and implementing appropriate data protection measures in accordance with New York State regulations.

**No-Cost, No-Obligation Evaluation**

Phases 1-3 of the Project Phases will be conducted at no cost and with no obligation to the Client. There is a pause point to allow the town to move into RFQ under Article 9 if required in the event a cooperative/alternate implementation means is requested/approved by the town.

Any further commitments will be subject to mutual agreement following the presentation of findings to town officials. The timeline above dates are subject to change based on data and resource availability for both parties

**Authorization**

By acknowledging below, the Town of Warwick authorizes Veregy to access utility data and conduct the evaluation process as outlined in this plan including on site evaluations as needed.

\_\_\_\_\_  
Jesse Dwyer, Town Supervisor  
Town of Warwick, NY  
Date: \_\_\_\_\_

\_\_\_\_\_  
Steve Bottita/Gary Orr  
Veregy  
Date: \_\_\_\_\_